

Appendix 6 - Site Plan & Elevations

1ST STREET SALMON ARM

ISSUED FOR DEVELOPMENT PERMIT

SALMON ARM 10-PLEX
1231 1ST STREET, SALMON ARM, BC

DATE: 15 OCTOBER 2024



CLIENT:

AR BROADVIEW HOLDINGS LTD.

150 28th St NE, Salmon Arm BC
V1E 1Z7
Contact: Cole Robillard
604-868-6198

CONSULTANT TEAM:

ARCHITECTURAL
BLUEGREEN ARCHITECTURE
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CONSULTING ENGINEERS
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TETRA TECH
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849 Fairweather Pl, Vernon, BC V1T 9B5
Contact: Shane Greene
778-940-1205

DRAWING LIST:

ARCHITECTURAL

A0.1	COVER SHEET	A4.2	BUILDING SECTION - BUILDING B
A0.2	CODE REVIEW	A4.3	BUILDING SECTIONS - ROWHOUSE 1 & 2
A0.3	BUILDING ASSEMBLIES & ENERGY CODE REQUIREMENTS	A4.4	BUILDING SECTIONS - ROWHOUSE 3 & 4
A0.4	DOOR ELEVATIONS & SCHEDULE	A4.5	BUILDING SECTIONS - ROWHOUSE 5 & 6
A0.5	WINDOW ELEVATIONS & SCHEDULE	A4.6	WALL SECTIONS 1/2
A0.7	GENERAL NOTES 1/2	A4.7	WALL SECTIONS 2/2
A0.8	GENERAL NOTES 2/2	A4.8	REFUSE ENCLOSURE WALL SECTIONS
A0.9	FINISH SCHEDULES	A5.0	PERSPECTIVE VIEWS
A1.1	SITE PLAN	A5.1	RH1, RH3 STAIR PLANS, SECTIONS & DETAILS
A1.2	(BLDG A) SITE SECTIONS	A5.2	RH2 STAIR PLANS, SECTIONS & DETAILS
A1.3	(BLDG B) SITE SECTIONS	A5.3	STAIR TO RH1 LOWER, RH4 STAIR TO COURTYARD
A2.1	FULL BUILDING PLANS	A5.4	STAIR TO RH6 LOWER SOUTH SIDE
A2.2	BLDG A - LOWER & MAIN FLOOR PLANS	A5.5	EXTERIOR NORTHERN GUARDRAIL + DETAIL
A2.3	BLDG A - UPPER FLOOR & ROOF PLANS	A6.1	PLAN & SECTION DETAILS
A2.4	BLDG B - LOWER & MAIN FLOOR PLANS	A6.2	SECTION DETAILS
A2.5	BLDG B - UPPER FLOOR & ROOF PLANS	A6.3	MISC. ROOFING + LEADER DETAILS
A2.6	BLDG A - LOWER & MAIN RCP	A6.4	WINDOW + DOOR DETAILS
A2.7	BLDG A - UPPER RCP	A6.5	WINDOW INSTALLATION SEQUENCE
A2.8	BLDG B - LOWER & MAIN RCP	A7.1	WASHROOM INTERIOR ELEVATIONS RH1
A2.9	BLDG B - UPPER RCP	A7.2	WASHROOM INTERIOR ELEVATIONS RH2
A2.10	COURTYARD, MECHANICAL & GARBAGE REFUSE	A7.3	WASHROOM INTERIOR ELEVATIONS RH2
A3.1	ELEVATIONS - BUILDING A	A7.4	WASHROOM INTERIOR ELEVATIONS RH2
A3.2	ELEVATIONS - BUILDING B	A7.5	RH1, RH3, RH4, RH5 INTERIOR KITCHEN ELEVATIONS
A3.3	REFUSE ENCLOSURE ELEVATIONS		
A4.1	BUILDING SECTION - BUILDING A	A7.6	RH2, RH4 INTERIOR KITCHEN ELEVATIONS

STRUCTURAL

S0.1	PROJECT NOTES
S1.1	FOUNDATION PLANS
S1.2	FOUNDATION DETAILS & SECTIONS

LANDSCAPING

L1/4	CONCEPTUAL LAYOUT PLAN
L2/4	CONCEPTUAL GRADING PLAN
L3/4	CONCEPTUAL PLANTING PLAN
L4/4	CONCEPTUAL IRRIGATION PLAN

CIVIL

C-101	1st STREET UPGRADES
C-102	ROAD & SHALLOW UTILITIES PLAN & PROFILE
C-103	1st STREET UPGRADES
C-104	WATER PLAN & PROFILE
C-105	1st STREET UPGRADES
C-106	STORM & SANITARY PLAN & PROFILE
C-107	SITE SERVICING
C-108	ACCESS & STORM PLAN & PROFILE
C-109	SITE SERVICING
C-110	SANITARY & WATER PLAN & PROFILE
C-111	SITE GRADING PLAN
C-112	WALL LAYOUT PLAN & PROFILE
C-113	1st STREET UPGRADES
C-114	STREET CROSS SECTIONS
C-115	SITE SECTIONS
C-116	STANDARD DETAILS
C-117	TYPICAL SECTIONS
C-118	ROAD @ DRIVE AISLE

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2024-11-21

RECORD OF ISSUES		
NO.	DATE	DESCRIPTION
1	2024-11-21	Development Permit
2	2024-11-21	Development Permit

RECORD OF REVISIONS		
NO.	DATE	DESCRIPTION
1	2024-11-21	Development Permit

Project

SALMON ARM
10-PLEX

1231 1st Street

Sheet Title

COVER SHEET

Job Number

23-1216LM

Date

09/23/21

Scale

1/4" = 1'-0"

Revision Number

1

Drawing Number

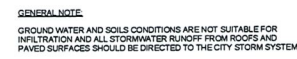
A0.1



SITE PLAN LEGEND

	PROPERTY LINE		S.O.D
	SETBACK LINE		DISPLAY VEHICLE PAD
	RIGHT OF WAY		ASPHALT GROUND
	EXISTING PROPERTY LINE		

A1.1





Seal



2024-11-21

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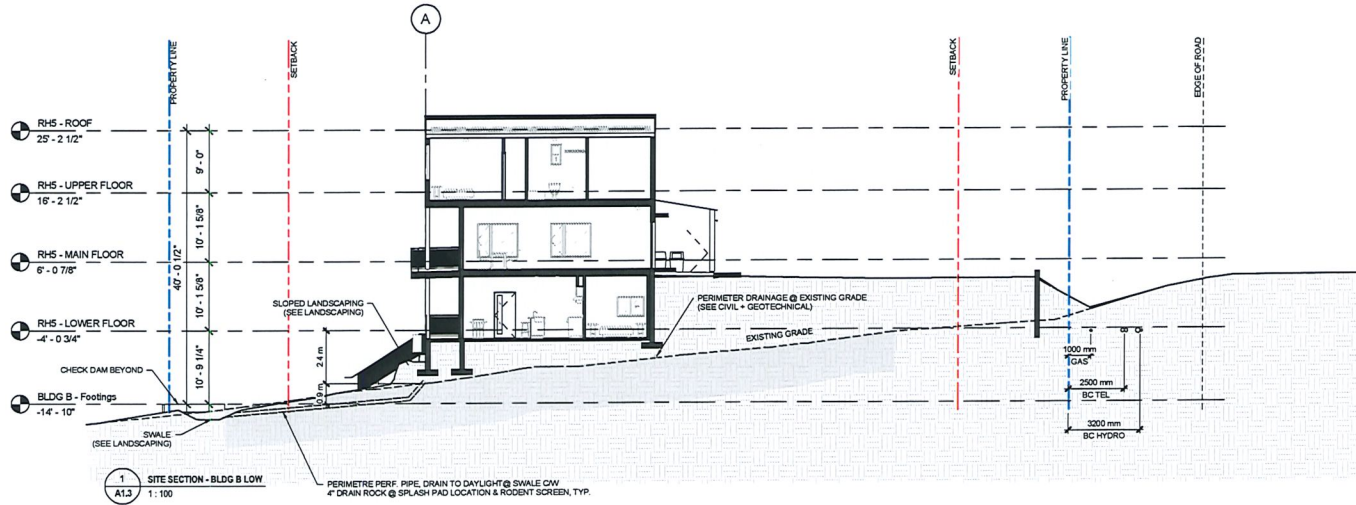
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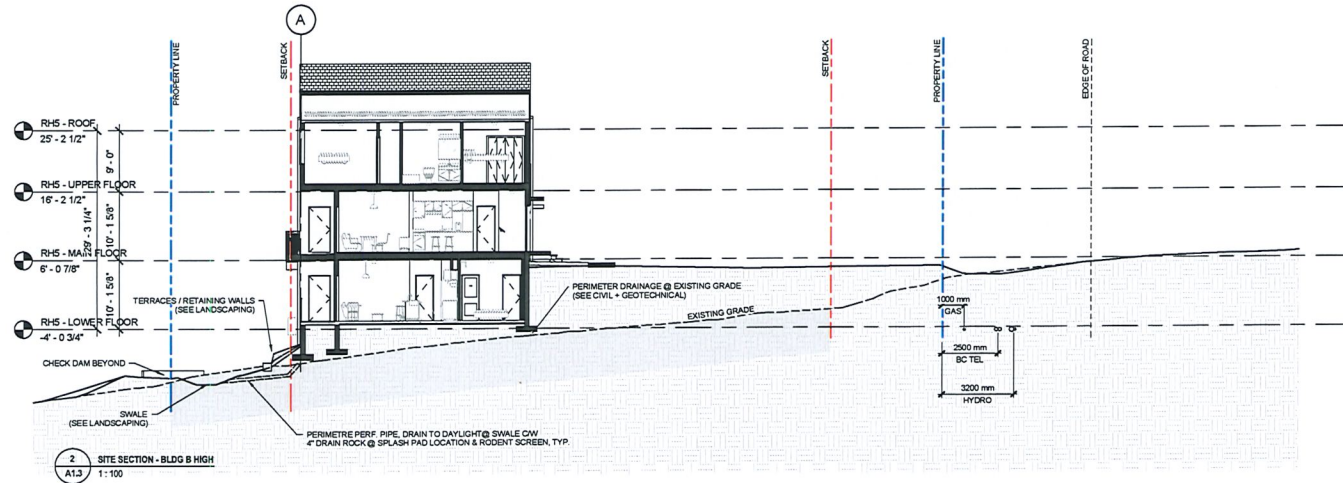
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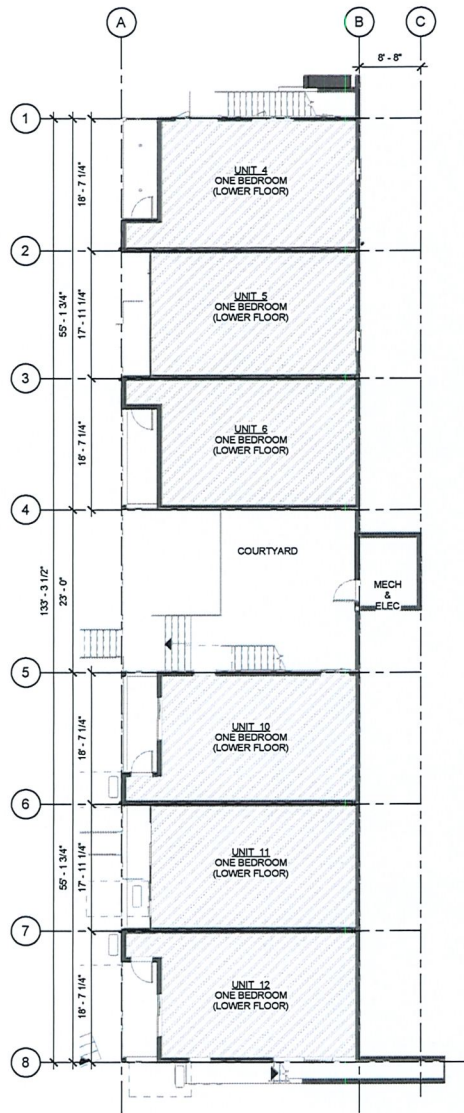
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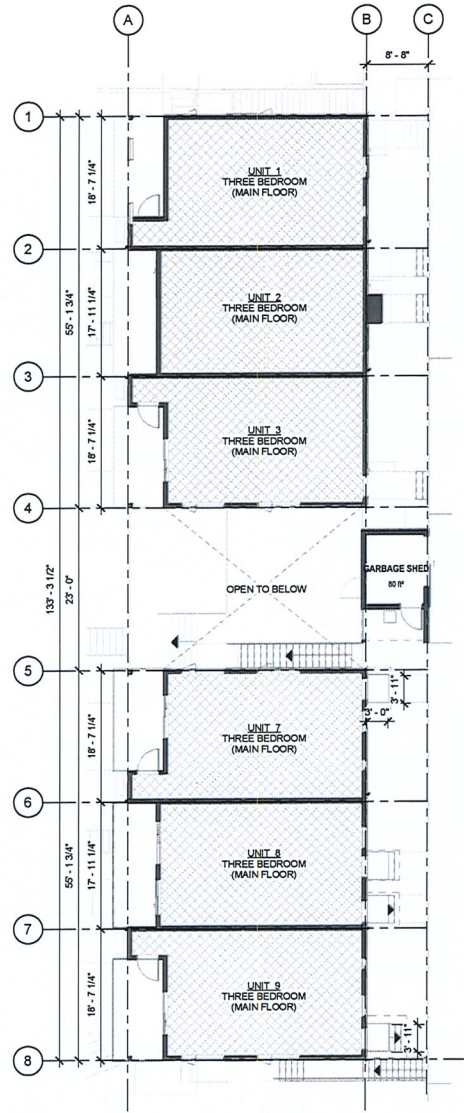
GENERAL NOTE
GROUND WATER AND SOILS CONDITIONS ARE NOT SUITABLE FOR
INFILTRATION AND ALL STORMWATER RUNOFF FROM ROOFS AND
PAVED SURFACES SHOULD BE DIRECTED TO THE CITY STORM SYSTEM

EXISTING TREE TO BE REMOVED
(SEE LANDSCAPING)



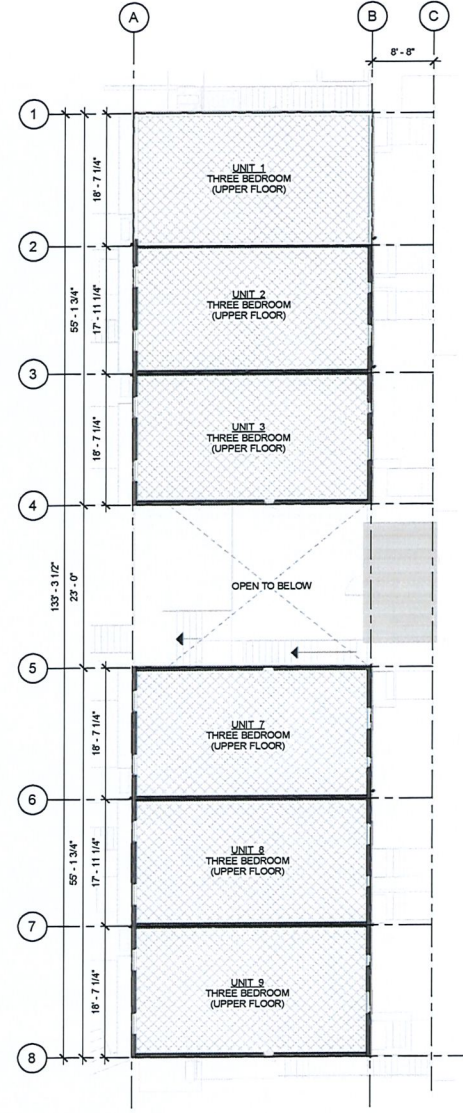


1 FULL BUILDING - LOWER FLOOR
1/8" = 1'-0"



2 FULL BUILDING - MAIN FLOOR
1/8" = 1'-0"

ONE BEDROOM UNIT
THREE BEDROOM UNIT



3 FULL BUILDING - UPPER FLOOR
1/8" = 1'-0"

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Project:
SALMON ARM
10-FLX

1228 103rd St

Sheet Title:
FULL BUILDING PLANS

Job Number: 23-1217CM
Date: 06/15/18
Scale: AS SHOWN
Revision Number: 1
Drawing Number:
A2.1

NOTE:
ELEVATION HEIGHTS BASED OFF RH-1 MAIN FLOOR ELEVATION
OF 375.88m

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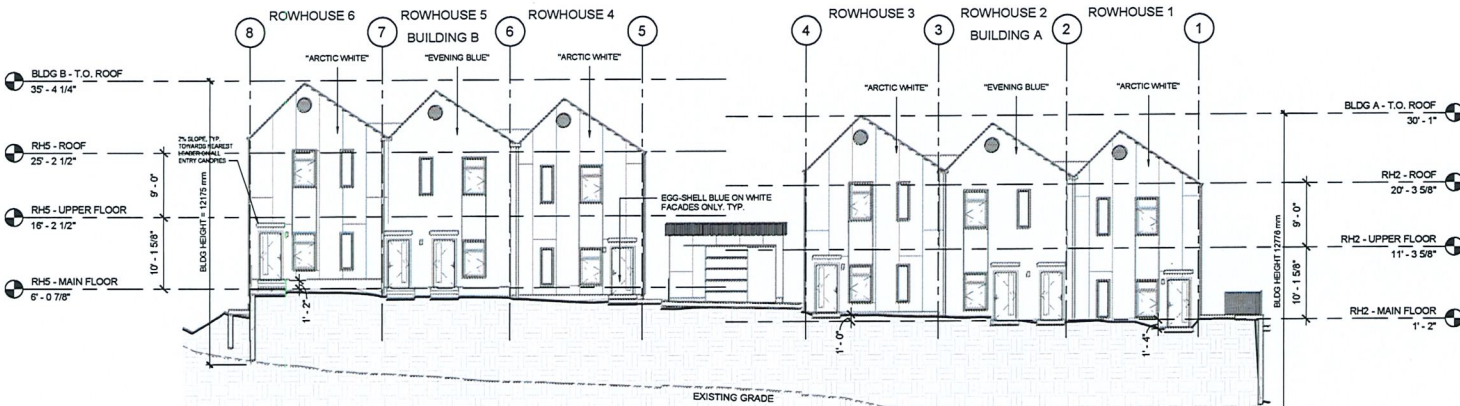
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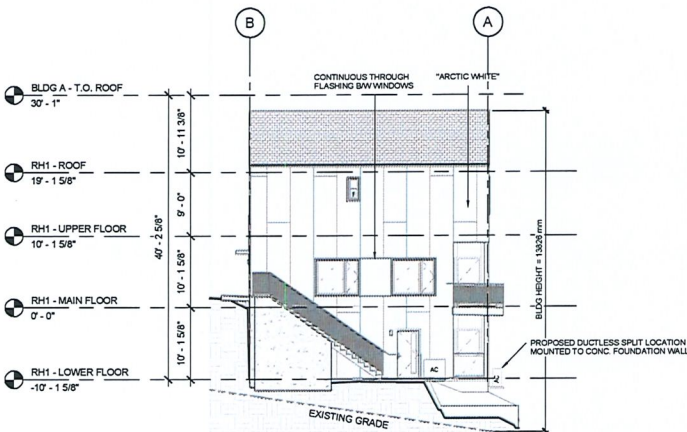
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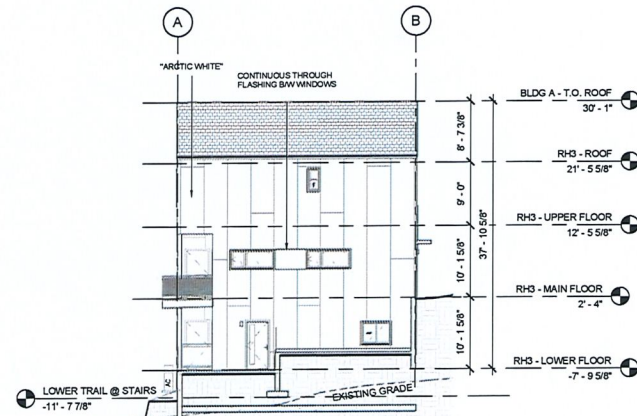


1 EAST ELEVATION
A3.1 1/8" = 1'-0"



2 NORTH ELEVATION - BLDG A
A3.1 1/8" = 1'-0"

LOWER UNIT	
EXPOSED SURFACE AREA	23.37m ² (251.5 sqft)
AREA OF UNPROTECTED OPENINGS	2.97m ² (32.0 sqft)
% OF UNPROTECTED OPENINGS	12.7%
UPPER UNIT	
EXPOSED SURFACE AREA	55.65m ² (599.0 sqft)
AREA OF UNPROTECTED OPENINGS	5.95m ² (64.0 sqft)
% OF UNPROTECTED OPENINGS	10.7%



3 SOUTH ELEVATION - BLDG A
A3.1 1/8" = 1'-0"

LOWER UNIT (UNIT 2)	
EXPOSED SURFACE AREA	18.81m ² (202.4 sqft)
AREA OF UNPROTECTED OPENINGS	2.97m ² (32.0 sqft)
% OF UNPROTECTED OPENINGS	15.8%
% OF OPENINGS ALLOWED	25.0%
UPPER UNIT (UNIT 3)	
EXPOSED SURFACE AREA	55.65m ² (599.0 sqft)
AREA OF UNPROTECTED OPENINGS	3.10m ² (34.0 sqft)
% OF UNPROTECTED OPENINGS	5.7%
% OF OPENINGS ALLOWED	13.5%

Job Number: 23-12176-M
Date: 06/17/18
Scale: 1/8" = 1'-0"
Revision Number: 1
Drawing Number: A3.1

2024-11-21 10:58:32 AM



REV	DATE	DESCRIPTION
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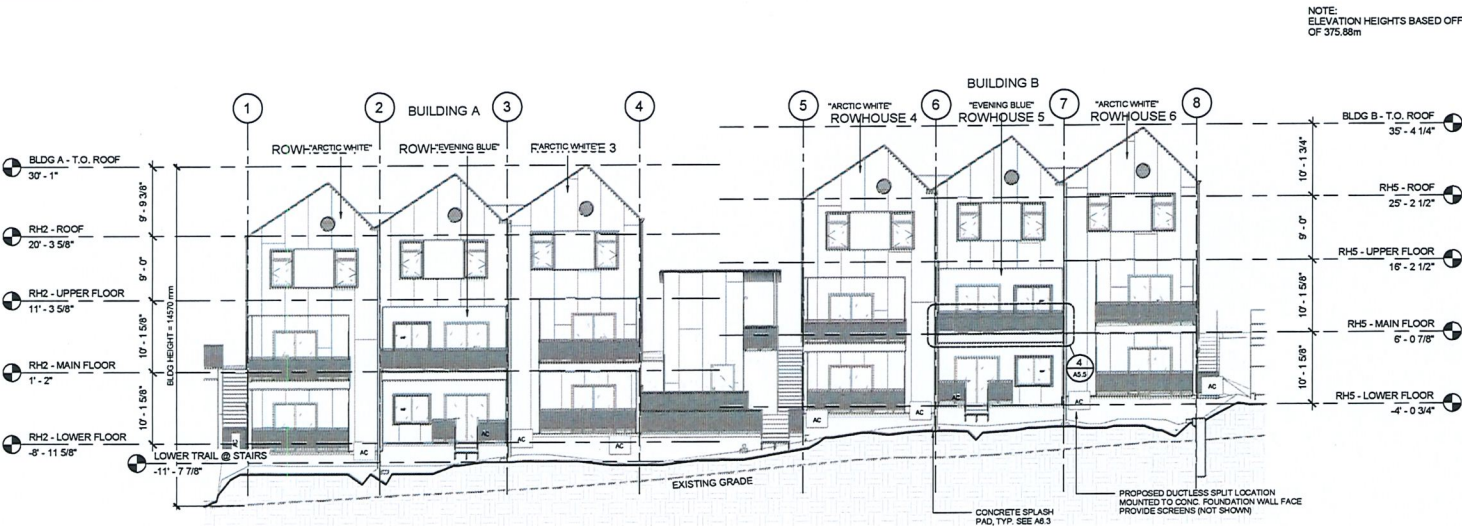
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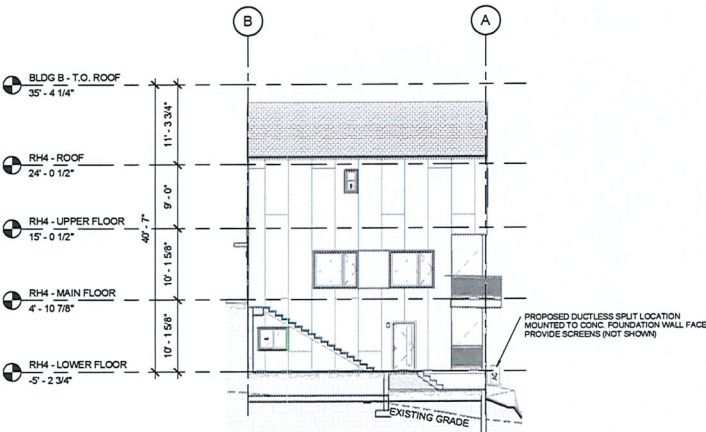
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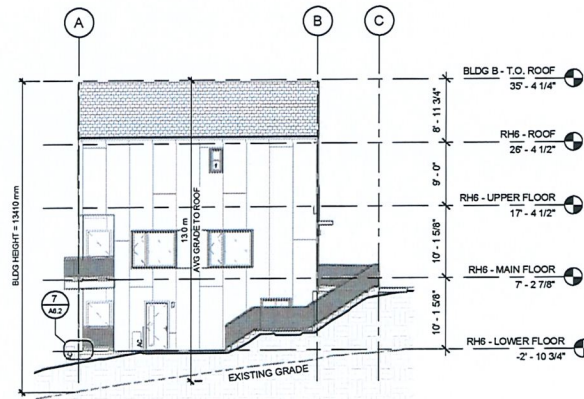
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1 WEST ELEVATION
A3.2 1/8" = 1'-0"



2 NORTH ELEVATION - BLDG B
A3.2 1/8" = 1'-0"



3 SOUTH ELEVATION - BLDG B
A3.2 1/8" = 1'-0"

LOWER UNIT	
EXPOSED SURFACE AREA:	23.37 m ² (251.5 sqft)
AREA OF UNPROTECTED OPENINGS:	2.97 m ² (32.0 sqft)
% OF UNPROTECTED OPENINGS:	12.7%
% OF OPENINGS ALLOWED:	13.5%

UPPER UNIT	
EXPOSED SURFACE AREA:	55.85 m ² (599.0 sqft)
AREA OF UNPROTECTED OPENINGS:	5.95 m ² (64.0 sqft)
% OF UNPROTECTED OPENINGS:	10.7%
% OF OPENINGS ALLOWED:	13.5%

LOWER UNIT	
EXPOSED SURFACE AREA:	23.37 m ² (251.5 sqft)
AREA OF UNPROTECTED OPENINGS:	2.97 m ² (32.0 sqft)
% OF UNPROTECTED OPENINGS:	12.7%

UPPER UNIT	
EXPOSED SURFACE AREA:	55.85 m ² (599.0 sqft)
AREA OF UNPROTECTED OPENINGS:	5.95 m ² (64.0 sqft)
% OF UNPROTECTED OPENINGS:	10.7%





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Project: SALMON ARM 10-FLEX

1234 5678 Ave

Sheet Title: PERSPECTIVE VIEWS

Job Number: 23-1215-PM

Date: 10/09/24

Scale:

Revision Number: 1

Drawing Number: A5.0